

MAYOR

Linda Blechinger

CITY ADMINISTRATOR

Alex W. Mitchem

CITY COUNCIL

Peggy J. Langley Robert L. Vogel III Bill Ackworth Jay L. Riemenschneider

PLANNING COMMISSION

Kim Skriba Sandy Wilson Carolyn Wade Kevin Camon

PLANNING COMMISSION AGENDA NOVEMBER 17, 2021 6:00 p.m.

CALL TO ORDER

1. APPROVAL OF MINUTES - OCTOBER 20, 2021.

NEW BUSINESS

- 2. OAR21-01: DOWNTOWN OVERLAY DISTRICT ARCHITECTURAL REVIEW; 1376 3RD AVE; ALTERATIONS TO EXISTING BUILDING FOR PROPOSED GROCERY STORE; APPLICANT: JUST CONSTRUCTION LLC; OWNER: KABIR NURANI.
- 3. OAR21-02: DOWNTOWN OVERLAY DISTRICT REVIEW; CITY MARKET ADDITION.
- 4. ANNEXATION AND REZONING: 4060 E. UNION GROVE CIRCLE

CITIZEN COMMENTS
ANNOUNCEMENTS
ADJOURNMENT



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PLANNING COMMISSION

Kim Skriba, Vice Chair Sandy Wilson, Secretary Carolyn Wade Kevin Camon Bo Bland

MINUTES OCTOBER 20, 2021 @ 6:00 pm

MEMBERS PRESENT

Kim Skriba, Carolyn Wade, Sandy Wilson, Kevin Camon Staff: Alex Mitchem

CALL TO ORDER

6:00 PM

OLD BUSINESS

1. APPROVAL OF MINUTES FROM September 15, 2021.

PC ACTION: APPROVED WADE: YES (MOTION) WILSON: YES (SECOND) CAMON: YES

BO BLAND: ABSENT

NEW BUSINESS

2. RZ21-006: REZONING FROM AG TO RM-8; TAX PARCELS AU11 031B & AU11 148; 57.5 ACRES; 100 LYLE ROAD; PROPOSED TOWNHOME SUBDIVISION CONSITING OF 399 LOTS; OWNER – DONNA EVANS; APPLICANT- CORRIDOR DEVELOPMENT INC. C/O ALLIANCE ENGINEERING & PLANNING.

Alex Mitchem presented the case.

Mitch Peevy, 6095 Atlanta Hwy, Flowery Branch: presented demographics of a similar project from Rocklyn Homes. Majority of residents are young professionals. Stated that 3 out of 10 residents have children. These would be good size homes and would be taken care of by the HOA. The site is not in the middle of nowhere, it is about to be in the middle of somewhere with Auburn's growth. Requested minor changes to conditions regarding brick facades of rear entry townhomes. Requested conditions to be modified to construct a wooden privacy fence around detention pond. Requested modifications to conditions to allow for a graded replanted 50 ft. buffer. Proposed that they pay for upgrades to Lyle Road from the project site to Autry Road.

Proposed to take the curve out our Lyle Road and add a stop sign.

The board asked several questions for clarification.

Beth Lyle, David Lyle, and Jill Lyle: Spoke on the history of the property. Concerned about the number of townhomes, road safety, lack of right-of-way, traffic. Their opposition of the project was based on the lack of road infrastructure. Referenced the city's future land use map to show the board that the future land use is designated as single family residential. Stated that the project is not appropriate to surrounding agricultural and single-family residential properties. Recommended the board deny the request.

Jeff Evans: Spoke in favor of selling his family's property citing changes in the area and sewer expansion.

PC ACTION: DENIAL
WADE: YES (MOTION)
WILSON: YES (SECOND)
CAMON: YES
BO BLAND: ABSENT

CITIZEN COMMENTS ANNOUNCEMENTS ADJOURNMENT

PC ACTION: ADJOURNED WADE: YES (MOTION) WILSON: YES (SECOND) CAMON: YES BO BLAND: ABSENT

BO BEAND: ABOEN

6:30 PM

KIM Skriba, vice Chair:	Date:
Sandy Wilson, Secretary:	Date:

STAFF REPORT DOWTOWN OVERLAY DISTRICT REVIEW

CASE NO: OAR21-001 PROPERTY: 1376 3RD AVE

APPLICANT: JUST CONSTRUCTION LLC	PROPERTY OWNER: KABIR NURANI
2325 FORTUNE DR, DACULA, GA 30019	1376 3 RD AVE, AUBURN, GA 30011
PHONE: 806-729-8476	PHONE: 404-936-7860
EMAIL:	EMAIL: KENNYNURANI@YAHOO.COM
JUSTCONSTRUCTIONLLC.0@GMAIL.COM	_

Project Summary:

Owner/Applicant has requested interior and exterior modifications to existing building for a proposed grocery store. Plans submitted for exterior modifications are subject to review by the Planning Commission. Interior modifications have been reviewed and approved by the Fire Marshal and City Building Inspector.

Applicant proposes to add a portico/front porch feature to the front of the building. The porch addition consists of wood construction with traditional roofing. The existing bay doors will be removed, and the building will be closed in to allow for one front door that will serve as the main customer entrance. There are 6 new windows proposed on the front façade. Decorative raised planters are proposed along the base of the posts that support the front porch.

The rear and side facades will remain relatively unchanged. An additional storage space and walk-in cooler is proposed for the rear of the building that will be constructed on the existing loading dock.

According to the rendering that was submitted, horizontal gray siding and traditional roofing shingles are proposed.

According to the site plan, parking spaces and handicap spaces are proposed along the front of the building. A retaining wall may be required to accommodate parking areas. Additional spaces are shown along the 3rd Ave frontage.

** Where the Commission determines that said plans do not comply with the requirements of this chapter, then the Commission shall notify the applicant in writing stating the manner in which said applicant fails to comply with such requirements. Any appeal of the Planning Commission's decision in this regard shall be to the Mayor and City Council.**

Development Standards:

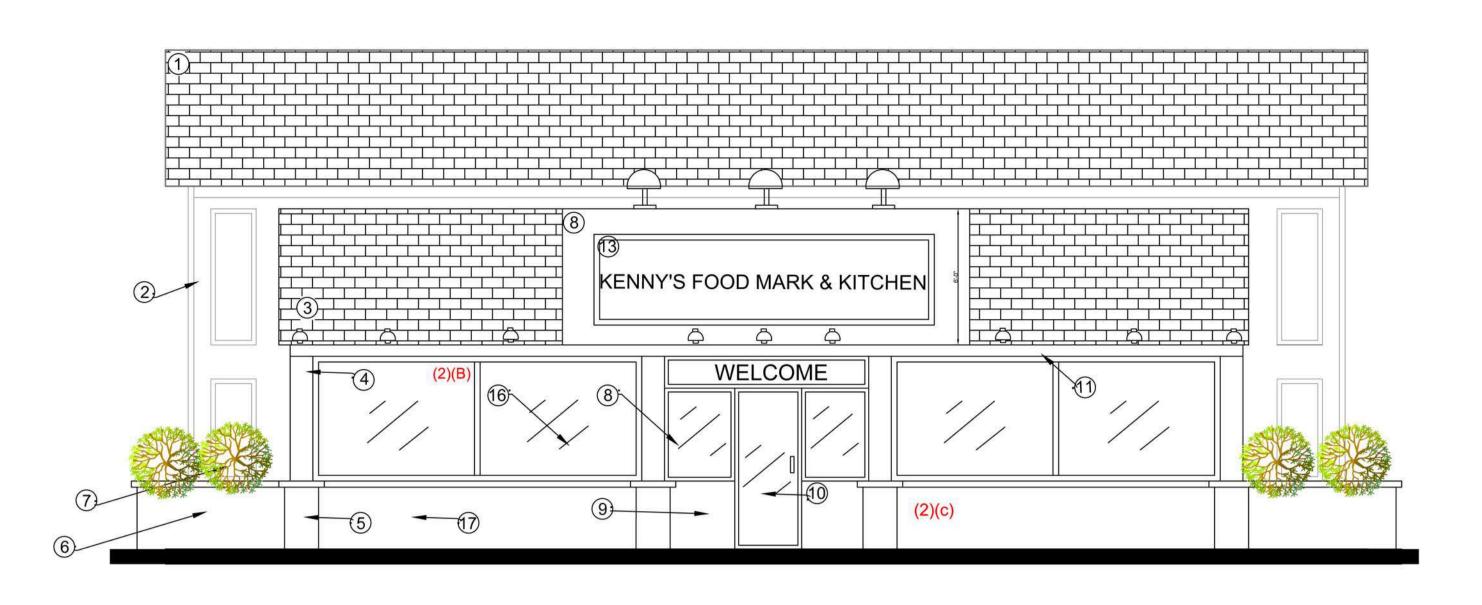
Code Section	Required	Meets Requirement?
17.91.050(1)	One entrance that faces the street	Yes
(2)(a) Façade Design	Front, side, and rear façade style shall be in accordance with Victorian, Arts and Crafts, or Art Deco.	Yes. Adding architectural elements to existing building may meet the intent of the district.
(2)(b)	Minimum of 75% of street- facing façade must be comprised of clear windows that allow views of indoor space or product display areas.	No
(2)(c)	Use of bare metal, aluminum siding, metal panels, plastic, and mirrored glass shall be prohibited.	No. Existing building consists of aluminum metal siding and roofing.
(2)(e)	Exterior colors shall be compatible with the colors on adjacent buildings. Proposed colors shall be specified on the site plan. Colors must be in accordance with the preset palette of accepted colors for the district.	Yes. Architectural renderings submitted indicate the building would be a gray color.
(3)(a) Side or Rear Façade Design	Materials and features similar to those present on the front of the building shall be used on the side or rear façade.	Yes. Rear and side facades will remain unchanged.
(3)(b)	Dumpster and service areas shall be completely screen with landscaping, a fence, a wall, or a combination thereof.	Yes. Site plan shows fence enclosure.
(3)(c)	Open areas shall be landscaped. Provide foundation plantings adjacent to the building.	No. No landscape plans were submitted.

(3)(d)	Sidewalks and parking areas shall be properly lighted to facilitate safe movement of pedestrians and vehicles.	No. No lighting plans were submitted.
(4) Awnings	n/a	A covered porch is proposed rather than awnings.
(5)	Exterior lighting must be placed and shielded so as to direct light onto the site and away from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture shall be prohibited, except where historical-style lighting is used that is compatible with historic-style street lamps installed by the City. Neon lighting as accent lighting is prohibited.	No. No lighting details or plans were submitted
(6)(a) Parking	No new parking lot shall be created nor an existing parking lot expanded in front of a building unless the Planning Commission determines that parking in front of the building would be acceptable for either the following reasons. 1) front yard parking is required to maintain the continuity of front building setbacks in the block while making efficient use of the site, or 2) required for traffic safety and to minimize driveway curb cuts where the new parking lot is proposed to connect with one or more parking lots on adjoining parcels.	No. However, due to septic limitations, traffic and pedestrian safety, and proposed use, front yard parking may be appropriate.
(7)(a) Landscaping	Provide street trees at 25' increments.	No. No tree plan was submitted.

(7)(b)	Landscape Plan shall be submitted for review and approval.	No. No landscape plan was submitted.
(8) Setbacks	Max front yard setback shall be 10'. Side yard setback may be zero (0) where buildings meet fire codes. Minimum rear setback shall be 5'.	No. Existing building does not meet current requirements for front setbacks. However, existing building setbacks may be appropriate on the subject site.
(9) Building Height	Shall not exceed 45' or three stories.	Yes
17.91.060 Signage	Roof top signs are prohibited	No. Renderings show a roof top mounted sign. No other sign details were submitted. Applicant must submit a sign permit application for review by the Planning Commission.

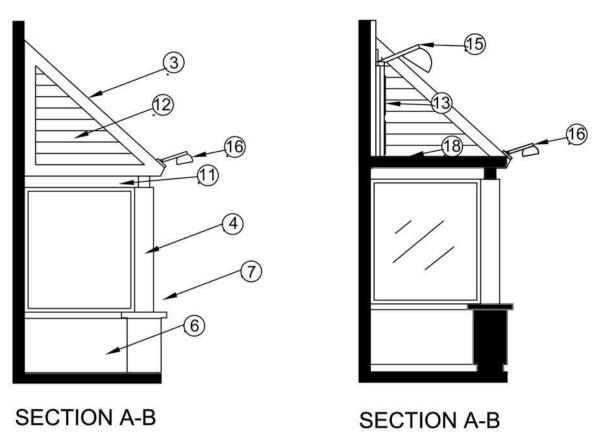
Community Development Department Recommendation: Approval w/ conditions.

- 1. Site plan and building design shall generally conform to the plans for "1376 3RD AVE KENNY'S GROCERY" dated 10/06/2021.
- 2. Site improvements shall meet all applicable Downtown Overlay District and Development Regulations of the City of Auburn.

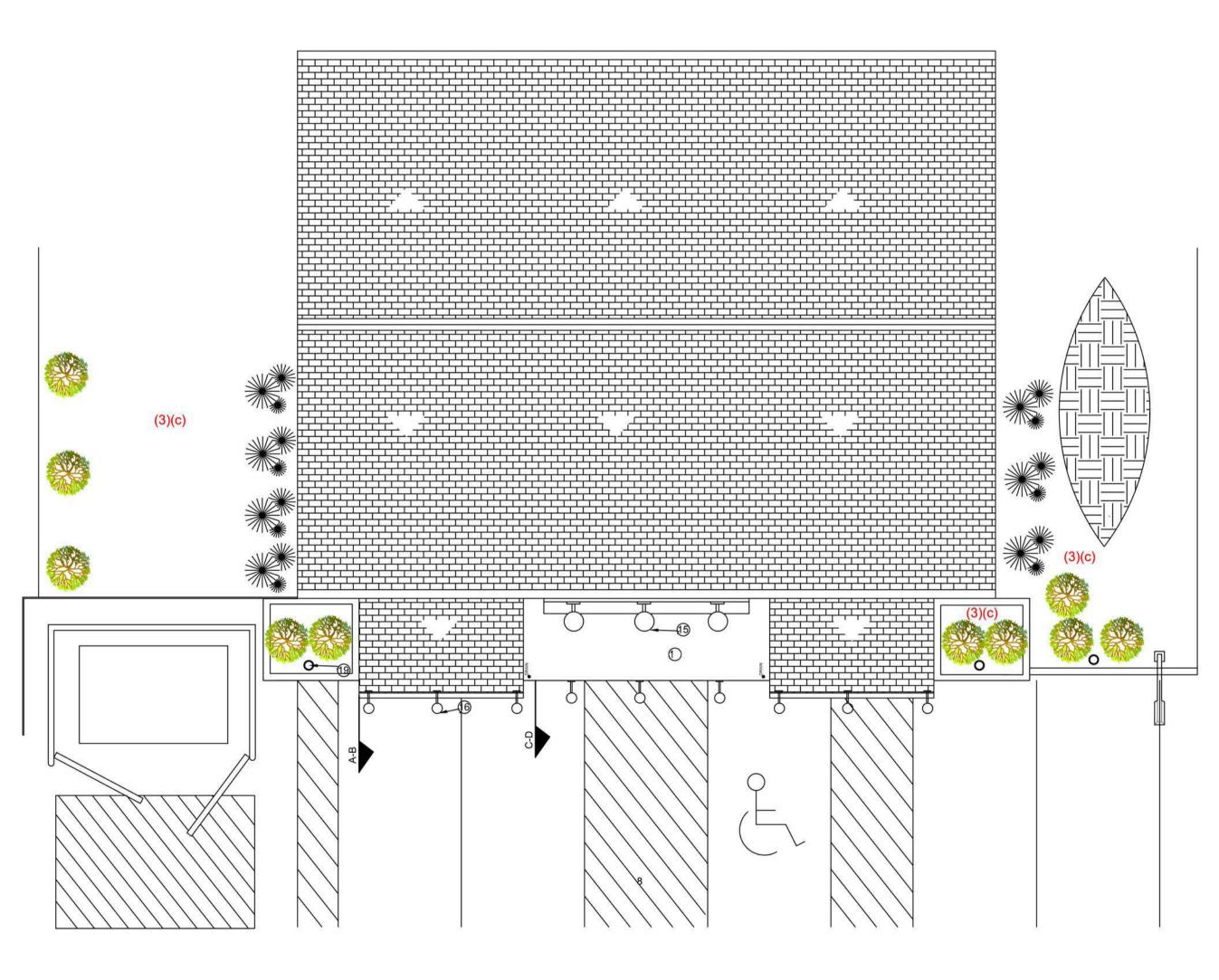




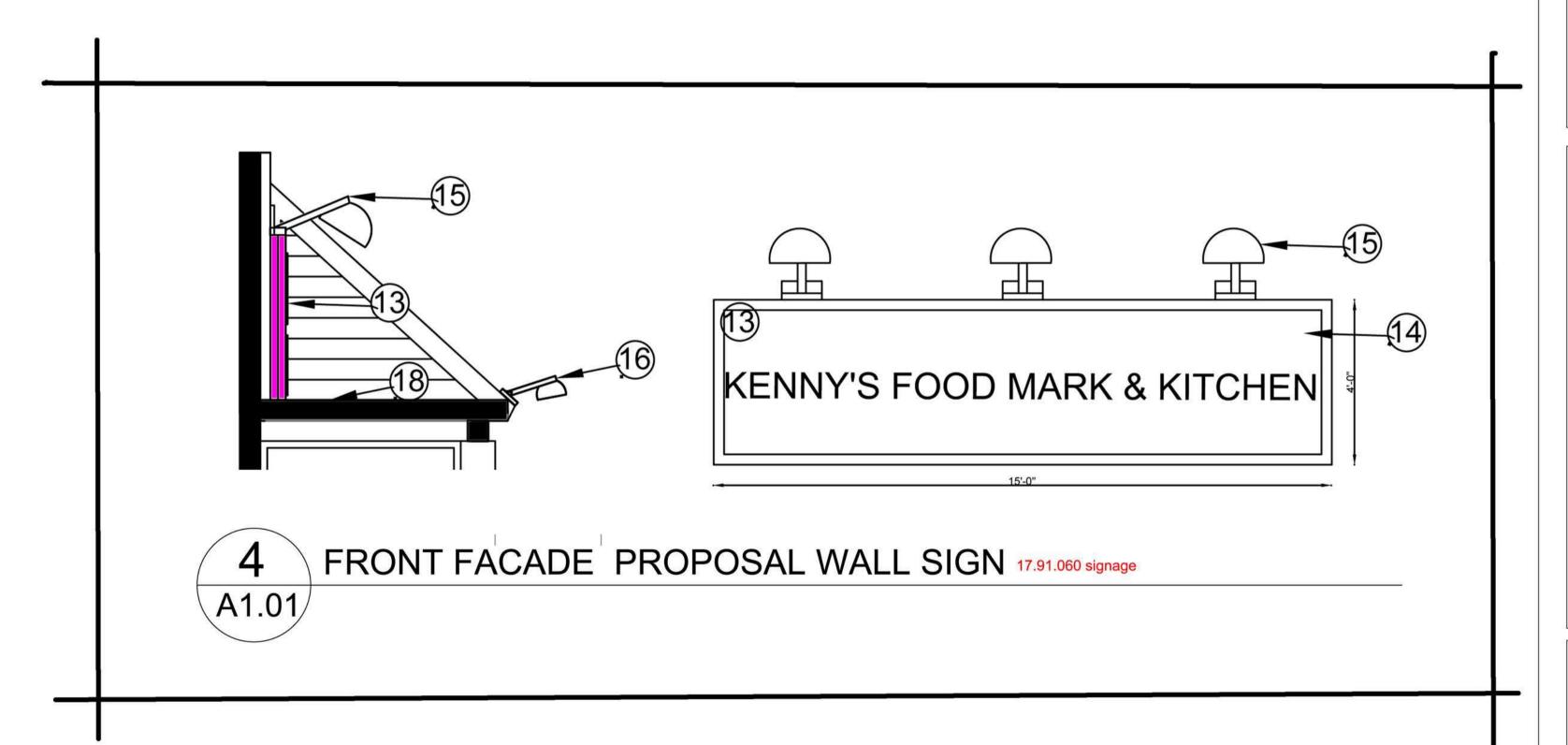


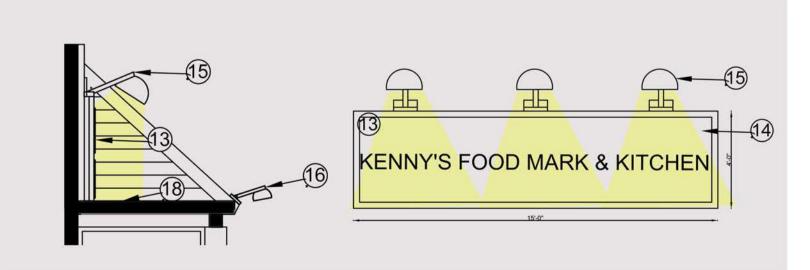


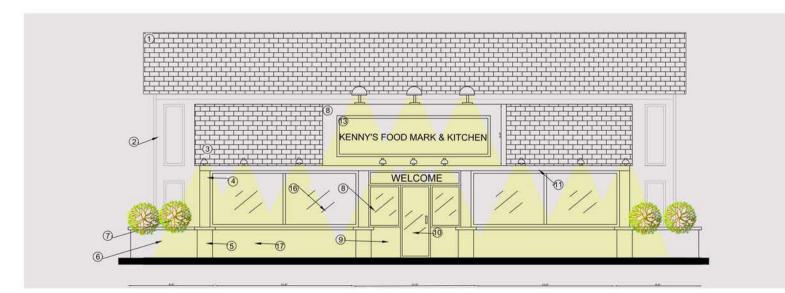
FRONT FACADE PROPOSAL PLAN
A1.01 SCALE 1:120



2 TOP VIEW ROFFING PROPOSAL PLAN A1.01 SCALE 1:30







5 FRONT FACADE PROPOSAL LIGHT PLAN (5) (3)(d) A1.01

PROPOSAL DESIGN

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

PROPERTY INFORMATION:

1376 3RD AVENUE AUBURN GA 30011

GENERAL CONTRACTOR:





JUST CONSTRUCTION LLC
FELIPE ROMAN
10475 MEDLOCK BRIDGE RD
JOHNS CREEK, GA
JUSTCONSTRUCTIONLLC.0@GMAIL.COM
806 729 8476

DRAWINGS PROVIDED BY:

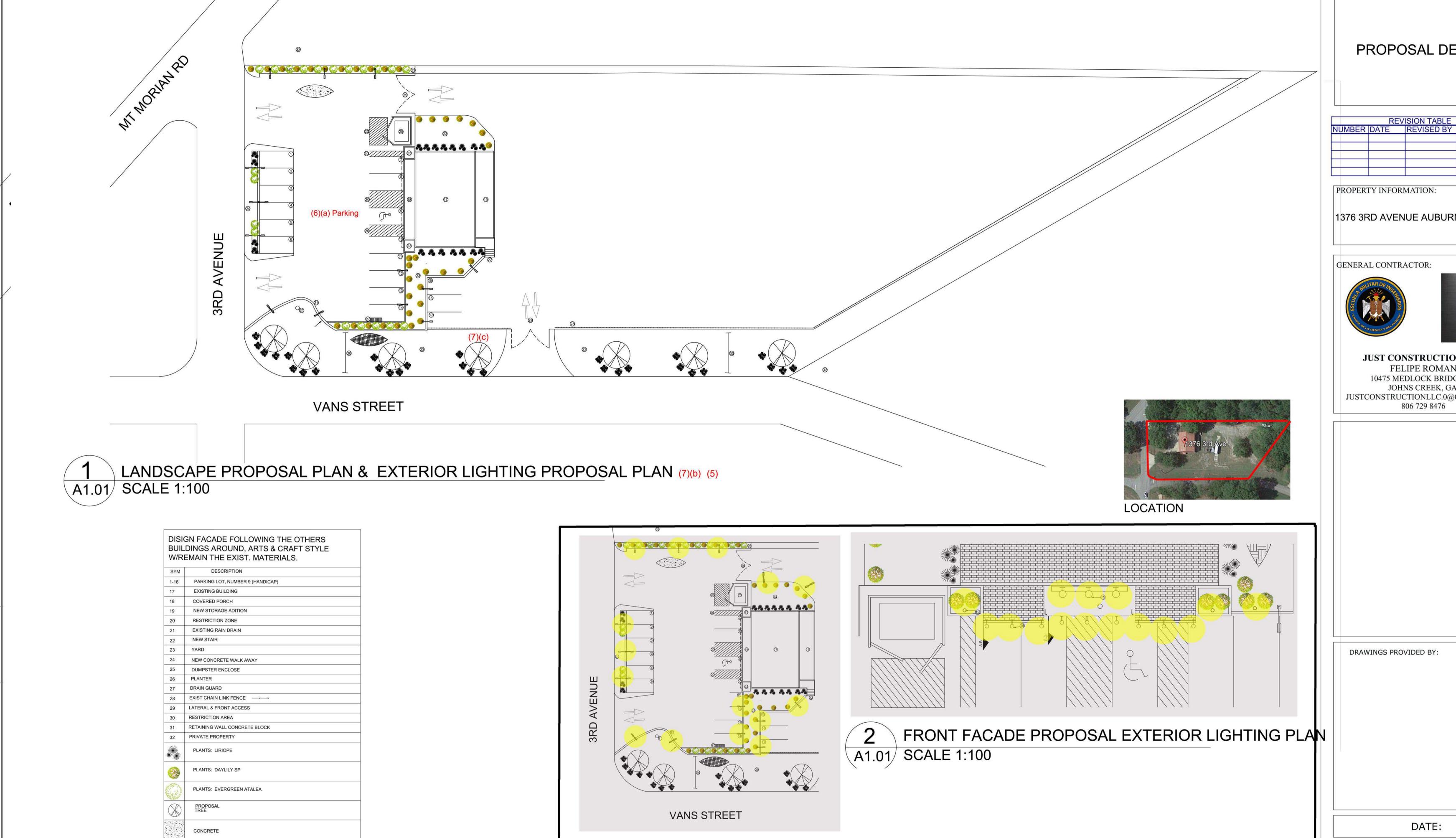
DATE:

10/06/2021

SCALE:

SHEET:

A1.01 24"X36"



A1.01/

GRASSES

PERENNIAL FLOWERS

LAMP POST

DOUBLE LAMP POST

РКОDUCED ВҮ АМ АИТОDESK STUDENT VERSION

TOP VIEW PROPOSAL EXTERIOR LIGHTING PLAN (5)

PROPOSAL DESIGN

REVISION TABLE

NUMBER DATE REVISED BY DESCRIPTION

1376 3RD AVENUE AUBURN GA 30011



JUST CONSTRUCTION LLC FELIPE ROMAN 10475 MEDLOCK BRIDGE RD JOHNS CREEK, GA JUSTCONSTRUCTIONLLC.0@GMAIL.COM

10/06/2021

SCALE:

SHEET:

A1.01 24"X36"

STAFF REPORT DOWTOWN OVERLAY DISTRICT REVIEW

CASE NO: OAR21-002
PROPERTY: City Market Convenience Store
1334 Atlanta Hwy, Auburn, GA 30011

APPLICANT: Mumtaz Paroo	PROPERTY OWNER: EON Petroleum Corp.
1334 Atlanta Hwy, Auburn, GA 30011	1000 Peachtree Industrial Blvd #6187
PHONE: 404-234-8256	PHONE: 404-234-8256
EMAIL: mumtazparoo@me.com	EMAIL: eonpetroleumcorp@icloud.com

Project Summary:

Owner/Applicant has requested interior and exterior modifications to existing convenience store. Plans submitted for exterior modifications are subject to review by the Planning Commission. Interior modifications have been reviewed and approved by the Fire Marshal and City Building Inspector.

Applicant proposes to construct additional storage space and walk-in cooler to the rear of the building.

According to the rendering that was submitted, insulated metal cooler panels with 8" CMU stem wall foundation. An 8' privacy fence will screen the new cooler from HWY 29.

** Where the Commission determines that said plans do not comply with the requirements of this chapter, then the Commission shall notify the applicant in writing stating the manner in which said applicant fails to comply with such requirements. Any appeal of the Planning Commission's decision in this regard shall be to the Mayor and City Council.**

Development Standards:

Code Section	Required	Meets Requirement?
17.91.050(1)	One entrance that faces the street	Yes
(2)(a) Façade Design	Front, side, and rear façade style shall be in accordance with Victorian, Arts and Crafts, or Art Deco.	Yes. Adding architectural elements to existing building may meet the intent of the district.
(2)(b)	Minimum of 75% of street- facing façade must be comprised of clear windows that allow views of indoor space or product display areas.	N/A

(2)(c)	Use of bare metal, aluminum siding, metal panels, plastic, and mirrored glass shall be prohibited.	No.
(2)(e)	Exterior colors shall be compatible with the colors on adjacent buildings. Proposed colors shall be specified on the site plan. Colors must be in accordance with the preset palette of accepted colors for the district.	Yes. Architectural renderings submitted indicate the building would match existing building color.
(3)(a) Side or Rear Façade Design	Materials and features similar to those present on the front of the building shall be used on the side or rear façade.	Yes. Architectural renderings submitted indicate the building would match existing building color.
(3)(b)	Dumpster and service areas shall be completely screen with landscaping, a fence, a wall, or a combination thereof.	N/A
(3)(c)	Open areas shall be landscaped. Provide foundation plantings adjacent to the building.	N/A
(3)(d)	Sidewalks and parking areas shall be properly lighted to facilitate safe movement of pedestrians and vehicles.	N/A
(4) Awnings	n/a	A covered porch shall remain.

(5)	Exterior lighting must be placed and shielded so as to direct light onto the site and away from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture shall be prohibited, except where historical-style lighting is used that is compatible with historic-style street lamps installed by the City. Neon lighting as accent lighting is prohibited.	N/A
(6)(a) Parking	No new parking lot shall be created nor an existing parking lot expanded in front of a building unless the Planning Commission determines that parking in front of the building would be acceptable for either the following reasons. 1) front yard parking is required to maintain the continuity of front building setbacks in the block while making efficient use of the site, or 2) required for traffic safety and to minimize driveway curb cuts where the new parking lot is proposed to connect with one or more parking lots on adjoining parcels.	N/A
(7)(a) Landscaping	Provide street trees at 25' increments.	N/A
(7)(b)	Landscape Plan shall be submitted for review and approval.	N/A

(8) Setbacks	Max front yard setback shall be 10'. Side yard setback may be zero (0) where buildings meet fire codes. Minimum rear setback shall be 5'.	Existing building meets current requirements for front setbacks.
(9) Building Height	Shall not exceed 45' or three stories.	N/A
17.91.060 Signage	Roof top signs are prohibited	N/A

Community Development Department Recommendation: Approval w/ conditions.

- 1. Site plan and building design shall generally conform to the site plan titled "CITY MARKET CONVENIENCE STORE" dated /20/2021.
- 2. Site improvements shall meet all applicable Downtown Overlay District and Development Regulations of the City of Auburn.

STRUCTURAL SPECIFICATIONS

STRUCTURAL GENERAL NOTES

AUBURN, GA 30011

1334 ATLANTA HWY

ADDENDA AND AMENDMENTS, ADOPTED AT THE DATE OF THE CONTRACT DOCUMENTS, UNLESS SPECIFICALLY STATED OTHERWISE 2. CONTRACT DOCUMENTS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH THE CODE OF PRACTICE OR SPECIFICATIONS OF ACI, PCI, AISC, SJI OR OTHER STANDARDS. WHERE A CONFLICT OCCURS WITHIN THE CONTRACT DOCUMENTS, THE STRICTEST REQUIREMENT

3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE VENDOR DRAWINGS. IF CONFLICTS OCCUR, CONTACT THE ARCHITECT.

4. ALL MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODE.

5. THE GENERAL CONTRACTOR SHALL COORDINATE THE STRUCTURAL PORTION OF THE CONTRACT DOCUMENTS WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL. PLUMBING AND CIVIL DOCUMENTS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY OR OMISSION.

6. THE GENERAL CONTRACTOR SHALL VERIFY THE DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY

7. THE GENERAL CONTRACTOR HAS SOLE RESPONSIBILITY FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION. INCLUDING. BUT NOT LIMITED TO THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING. TEMPORARY SUPPORTS, ETC. CORRESPONDING TO THE APPLICABLE STANDARDS AND

8. DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR TO THOSE LOCATIONS SPECIFICALLY INDICATED. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE SPECIFICALLY CALLED OUT.

STRUCTURAL CODE/DESIGN INFORMATION

 STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL BUILDING CODE, 2012 EDITION.

2. GRAVITY LOADS:

2.1 INFORM ROOF LOADS

ROOF LIVE LOADS 20 PSF (UNREDUCED) FLOOR LIVE LOAD 40 PSF

3. WIND LOAD CRITERIA: 115 MPH BASIC WIND SPEED

EXPOSURE B WIND IMPORTANCE FACTOR = 1

STRUCTURAL FOUNDATION NOTES

 INDIVIDUAL SPREAD FOOTINGS AND CONTINUOUS FOOTINGS SHALL BEAR ON RESIDUAL SOIL CAPABLE OF SUPPORTING 1000 PSF.

CONCRETE/MASONRY REINFORCING

1. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED

2. PLACE REINFORCEMENT AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE STRUCTURAL PORTION OF THE CONTRACT DOCUMENTS:

2.1 CONCRETE REINFORCEMENT COVER

3" CLEAR 2" CLEAR FORMED EXPOSED TO WEATHER: 2" CLEAR SLABS:

CONCRETE

1. CONCRETE WORK SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.

2. CONCRETE SHALL HAVE THE FOLLOWING MINIMUM SPECIFIED 28-DAY COMPRESSIVE

2.1 NORMAL WEIGHT STRUCTURAL CONCRETE:

FOOTINGS & SLABS-ON-GRADE 3,000 PSI

MASONRY

1. MINIMUM 28-DAY COMPRESSIVE STRENGTH OF CONCRETE MASONRY SHALL BE 2,500 PSI BASED ON NET AREA AND A PRISM STRENGTH OF F'm = 1,500 PSI.

2. MORTAR SHALL COMPLY WITH THE BUILDING CODE REQUIREMENTS FOR MASONRY AND SHALL BE OF THE FOLLOWING TYPE:

SHOWN IN THE STRUCTURAL DOCUMENTS. GROUT FOR REINFORCED AND

- 1. WOOD FRAMING SHALL BE SOUTHERN PINE, NO. 2 K.D. (15% MAX. MOISTURE CONTENT) UNLESS NOTED OTHERWISE ON DRAWINGS. MINIMUM ALLOWABLE BENDING STRESS
- 2. CONNECTIONS FOR STRUCTURAL TIMBER SHALL BE GALVANIZED STRONG-TIE
- 3. WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FOUNDATION GRADE
- WITH 2 ROWS OF 16d NAILS AT 12 INCHES ON CENTER, STAGGERED, EACH FACE.

PROJECT INFORMATION EQ = Equal PCC = Pre-Cast Concrete EXIST = Existing PLUMB = Plumbing **01. PROJECT INFORMATION** EXT = Exterior PLYWD = Plywood THIS PROJECT IS A PARTIAL RENOVATION OF A CONVENIENCE STORE. EXISTING COOLERS ARE

FD = Floor Drain or Fire Department PT = Pressure Treated FEC = Fire Extinguisher Cabinet PNT = Paint or Painted FIXT = Fixture PVC = Polyvinyl Chloride RBR = Rubber FO = Face Of RCP = Reflected Ceiling Plan FND = Foundation RD = Roof Drain FRT = Fire Retardant Treated RM = RoomGALV = Galvanized

REQ = Require, Required, Requirement SIM = Similar SPEC = Specified OR Specification SPK = Sprinkler or Speaker SSTL = Stainless Steel

STC = Sound Transmission Coefficient STL = Steel STD = Stud Wall Framing HVAC = Heating, Ventilating, And Air Conditionin TRUCT = Structure or Structural IRGB = Impact Resistant Gypsum Wall Board T&G = Tongue And Groove TELE = Telephone TLT = Toilet

TME = To Match Existing TO = Top OfTOC = Top Of Concrete TOS = Top Of Steel TPD = Toilet Paper Dispenser T/D = Telephone/Data TYP = Typical MRG = Moisture-Resistant Gypsum Wall Board UNO = Unless Noted Otherwise

U/S = Underside VIF = Verify In Field VP = Vision Panel W/ = WithWD = Wood

GYPSUM WALLBOARD

RIGID INSULATION

GLASS BLOCK

WOOD FLOORING

EXTERIOR

SHEATHING

03. OCCUPANCY CLASSIFICATION

MERCANTILE GROUP M (IBC, SECTION 309)

04. CONSTRUCTION TYPE TYPE VB (IBC)

CLASSIFICATION.

02. APPLICABLE CODES

INTERNATIONAL BUILDING CODE,

INTERNATIONAL PLUMBING CODE.

INTERNATIONAL FUEL GAS CODE,

NATIONAL ELECTRICAL CODE,

INTERNATIONAL MECHANICAL CODE,

INTERNATIONAL FIRE CODE,

2018 EDITION, WITH GEORGIA AMENDMENTS (2020)

2017 EDITION, WITH NO GEORGIA AMENDMENTS

INTERNATIONAL ENERGY CONSERVATION CODE.

05. FIRE PROTECTION SYSTEMS

THIS BUILDING IS NOT SPRINKLERED.

06. FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TYPE VB)

2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)

LIFE SAFETY CODE 2018 EDITION WITH STATE AMENDMENTS (2020)

TO BE RECONFIGURED AND A BEER CAVE ADDED. THERE IS ALSO A NEW EQUIPMENT PAD

NEW EQUIPMENT. THERE IS NO CHANGE TO THE BUILDING OCCUPANCY OR USE

ADDED TO THE EXTERIOR OF THE BUILDING WITH A WOODEN PRIVACY FENCE TO SCREEN THE

TRUCTURAL FRAME 0 HOUR EXTERIOR BEARING 0 HOUR **BEAMS AND COLUMNS** 0 HOUR FLOOR CONSTRUCTION 0 HOUR ROOF (INC. SUPPORTS) VARIES (TABLE 602) NON-BEARING WALLS EXT NONBEARING WALLS INT 0 HOUR

07. BUILDING AREA = 2,800 SF **ALLOWABLE PER TABLE 506.2** = 9,000 SF

08. BUILDING OCCUPANT LOAD

TABLE 1004.5 60 SF/OCC GROSS = 2,800SF/60 = **47 OCCUPANTS**

09. EGRESS COMPONENT CAPACITY IBC SECTION 1005.3.2 .2 INCHES x 17 OCCUPANTS = 3.4" INCHES (72" PROVIDED)

10. EGRESS TRAVEL REQUIREMENTS

200 FT WITHOUT SPRINKLER (IBC, TABLE 1017.2)

COMMON PATH OF TRAVEL 75 FT WITHOUT SPRINKLERED (IBC, TABLE 1006.3.3(2)

SHEET INDEX:

ARCHITECTURAL

BUILDING ELEVATIONS

COVERSHEET

FLOORPLANS

DEAD END CORRIDOR 20 FT (IBC SECTION 1020.4)

ABBREVIATIONS:

AD = Area Drain

ALUM = Aluminum

ANOD = Anodized

BSMT = Basement

CIP = Cast In Place

CHNL = Channel

CJ = Control Joint

BYND = Beyond

BOT = Bottom

CLG = Ceiling

COL = Column

CPT = Carpet

DBL = Double

DIA = Diameter

DN = Down

DR = Door

EA = Each

(Roofing)

EL = Elevation

ELEC = Electrical

DIM = Dimension

DRWG = Drawing

EJ = Expansion Joint

ELEV = Elevator or Elevation

COMPACTED

FILL/SOIL

ASPHALT

CONCRETE

CUT STONE

CAST STONE

MASONRY UNIT

ORNAMENTAL METAL

BLOCKING OR SHIM

EPDM = Ethylene Propylene Diene

DIMS = Dimensions

CT = Ceramic Tile

CTYD = Courtyard

COMP = Compressible

CONC = Concrete

CONT = Continuous

CLR = Clear

& = And

@ = At

= Pound OR Number

ACT = Acoustic Ceiling Tile

AFF = Above Finished Floor

CMU = Concrete Masonry Unit

DEMO = Demolish or Demolition

FLR = Floor

GA = Gauge

HI = High

HR = Hour

HC = Hollow Core

HM = Hollow Metal

HP = High Point

ILO = In Lieu Of

MAX = Maximum

MO = Masonry Opening

MECH = Mechanical

NIC = Not In Contract

OH = Overhang or Opposite Hand

PARTICLE BOARD

WATERPROOFING/

DAMPPROOFING/

BATT INSULATION

FIREPROOFING OR

SOLID SURFACING

PLASTER STUCCO W/

AIR/ MOISTURE

BARRIFR

SPRAY-ON

INSULATION

METAL LATH

MEM = Membrane

MIN = Minimum

MTL = Metal

NO = Number

NOM = Nominal

OC = On Center

OPP = Opposite

OZ = Ounce

INT = Interior

LO = Low

GWB = Gypsum Wall Board

INSUL = Insulated or Insulation

PROJECT GENERAL NOTES: 1. THESE DRAWINGS INDICATE IN GENERAL THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING. THE MAJOR ARCHITECTURAL ELEMENTS AND TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. AS INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

DRAWING SYMBOL LEGEND:

DRAWING TITLE

DRAWING SCALE-

DRAWING NUMBER-

BUILDING AND WALL SECTION

DRAWING NUMBER —

—EXTENT OF DRAWING—

SHEET NUMBER-

DRAWING NUMBER-

-EXTENT OF DRAWING

ANNOTATION SYMBOL LEGEND:

101 - ROOM NUMBER

150 SF — ROOM AREA

- CEILING TYPE MARK

—CEILING HEIGHT AFF

ENLARGED PLAN OR DETAIL

~----

~----'

SHEET NUMBER

CALLOUT:

ROOM TAG:

DOOR TAG:

WALL TAG:

WINDOW

CEILING TAG: (A 1'-0"

(A)----

(3)-FLOOR PLAN-1/4" - 1'-0"

COLUMN GRID:

EXISTING GRID -

INTERIOR ELEVATION TAG

DRAWING NUMBER-

SHEET NUMBER-

DRAWING NUMBER-

EXTENT OF DRAWING—

MATERIAL PATTERN LEGEND:

UNDISTURBED

SOIL

GRAVEL.

POROUS FILL

LIGHTWEIGHT

COMMON FACE

CONTINUOUS WOOD

LOCATION MAP

CONCRETE

SHEET NUMBER-

A101

DETAIL SECTION TAG:

DRAWING

DRAWING NUMBER-

EXTERIOR ELEVATION

TITLE:

2. THE CONTRACTOR SHALL COORDINATE ALL MECHANICAL FLOOR/WALL PENETRATIONS WITH MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, STRUCTURAL AND ARCHITECTURAL DRAWINGS AND DISCREPANCIES, IF ANY, TO BE BROUGHT TO NOTICE OF THE ARCHITECT PRIOR TO EXECUTION OF WORK.

3. THE CONTRACTOR SHALL CONDUCT HIS OWN SITE SURVEY OF THE EXISTING FACILITY AND REPORT ANY DISCREPANCIES WITH THE CONSTRUCTION DOCUMENTS, IF ANY, TO THE ARCHITECT.

4. CONTRACTOR'S SHOP DRAWINGS SHOULD INDICATE ACTUAL FIELD CONDITIONS.

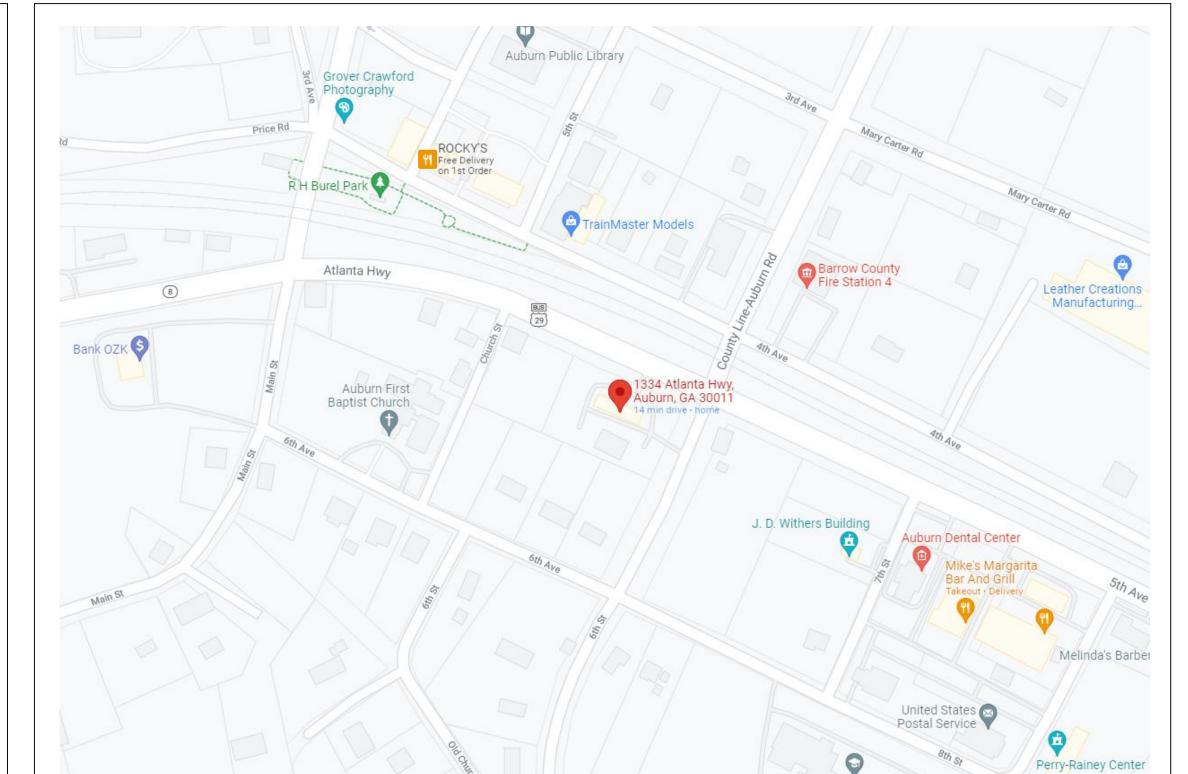
5. ALL EXISTING OR PROPOSED DIMENSIONS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE THE PREPARATION OF SHOP DRAWINGS OR COMMENCEMENT OF ANY ITEM OF WORK ON THE SITE OR BUILDING.

6. ARCHITECTURAL DRAWINGS MUST ALWAYS BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT SERVICES DRAWINGS AND CONTRACT DOCUMENTS. ANY DISCREPANCY BETWEEN THESE DRAWINGS AND DOCUMENTS SHOULD BE REPORTED TO THE ARCHITECT FOR CLARIFICATION AND VERIFICATION.

7. THE CONTRACTOR SHALL SUBMIT SAMPLES AND SHOP DRAWINGS FOR ALL WORKS WITH ALL NECESSARY DETAILS AND DESIGN INFORMATION FOR APPROVAL.

8. NOTES APPEARING ON VARIOUS DRAWINGS FOR DIFFERENT SYSTEMS AND MATERIALS ARE TO BE REVIEWED, COORDINATED AND ARE TO BE APPLIED TO ALL RELATED DRAWINGS AND DETAILS.

9. THE OWNER IS RESPONSIBLE FOR GEOTECHNICAL TESTING OF EXISTING SOIL AND SOIL BEARING CAPACITY. THE RECOMMENDED BEARING CAPACITY FOR THE PROPOSED DESIGN IS 1,500 PSF.



BELOW GRADE TYPE "M" ALL OTHER TYPE "M" OR "S" 3. CONCRETE MASONRY UNITS SHALL BE GROUTED WITH 2,500 PSI COARSE GROUT AS NONREINFORCED MASONRY SHALL CONFORM TO ASTM C476. 4. GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION. SHALL BE 1,300 PSI FOR SOUTHERN PINE. CONNECTORS BY THE SIMPSON COMPANY OR APPROVED EQUAL PRESSURE-TREATED SOUTHERN PINE. USE GALVANIZED NAILS IN PRESSURE-TREATED 4. PLYWOOD DIAPHRAGMS SHALL BE EITHER CDX OR OSB PLYWOOD WITH THICKNESS AS NOTED IN THE STRUCTURAL DOCUMENTS. PLYWOOD SHALL CONFORM TO THE REQUIREMENTS OF THE BUILDING CODE. 5. LVL BEAMS AS CALLED OUT ON DRAWINGS SHALL BE LOUISIANA PACIFIC GANG-LAM S 3100 Fb 2.0E OR APPROVED EQUAL. MULTIPLE LVL MEMBERS SHALL BE CONNECTED TOGETHER

COVERSHEET

ISSUE: FOR CONSTRUCTION

DATE: 09/20/21

GJR ARCHITECT

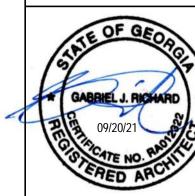
300

PROPERTY LINE

GJR ARCHITECT

GENERAL NOTES

Gabriel J Richard AIA NCARB CERTIFICATE NO. RA012322



3001 ARKI

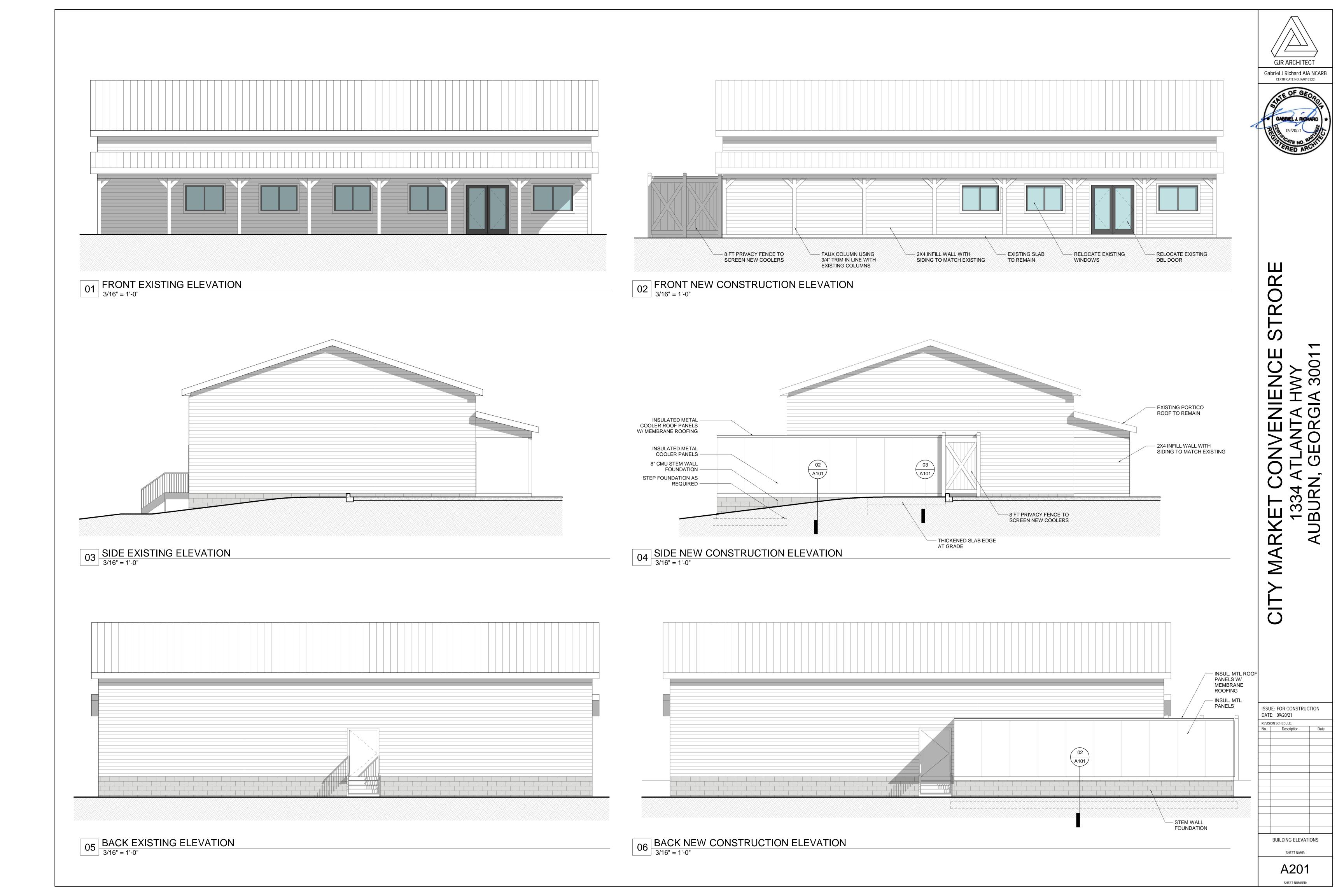
 $\sum_{i=1}^{n}$

ISSUE: FOR CONSTRUCTION DATE: 09/20/21 No. Description

FLOORPLANS SHEET NAME:

A101

SHEET NUMBER:



STAFF REPORT 4060 E. UNION GROVE CR TRACT ANNEXATION AND REZONING

CASE NO: RZ2100007 and RZ2100008

APPLICANT: LHA HOMES, LLC

OWNER(s): STONE MANOR HOLDINGS, LLC

CONTACT: BRYAN ASHWORTH, BDASHWORTH@BELLSOUTH.NET, 404-925-2958

PRESENT ZONING: BARROW AG AGRICULTURAL DISTRICT AND GWINNETT - RA200

RESIDENTIAL AGRICULTURAL

REQUESTED ZONING: CITY OF AUBURN - R100 - SINGLE FAMILY RESIDENTIAL

TAX PARCELS: BARROW, XX007 001 & GWINNETT 2004 060; 4060 E. UNION GROVE CIRCLE

ACREAGE: BARROW 0.04 +/- ACRES AND GWINNETT 4.04 +/- ACRES **PROPOSED DEVELOPMENT**: 5 SINGLE-FAMILY RESIDENTIAL LOTS.

DENSITY: 1.24 UNITS PER ACRE +/-

PROJECT DATA:

Applicant is requesting annexation and rezoning for the purpose of constructing a 5-lot single-family residential subdivision. The request includes five properties fronting along E. Union Grove Circle. Heated square footage from 1800 SF. Development is proposed to be a served by septic tanks and City of Auburn water. Stormwater management area is not required. The parent parcel is split between two counties with 0.04 +/- acres in Barrow County zoned AG Agricultural and 4.04 +/- acres in Gwinnett County zoned RA200. The proposed R-100 zoning calls for a max density of 2.3 du/acre, 15,000 SF minimum lot size, and 100 ft. minimum lot width.

SURROUNDING ZONING:

North: Gwinnett County AG

South: Barrow County AR and Gwinnett County C2 East: Gwinnett County AG, RA200, and R-100

West: Barrow County R-1 and City of Auburn R-100



Figure 1 BOUNDARY SURVEY WITH AERIAL

DEVELOPMENT REVIEW:

Approval of an erosion control plan from the Georgia Soil and Water Conservation Commission is required prior to land disturbance activity.

Septic is required to serve this development. Approval of plans Environmental Health required.

Approval of site plans from Barrow County Fire Marshal required.

A 40' undisturbed buffer is recommended to buffer existing residential properties that are adjacent to the site.

WETLANDS/STREAMS/FLOODPLAINS:

There are no streams/tributaries nor floodplains located on the site. According to the National Wetlands Mapper, there are no wetlands that exist on the site.

TRANSPORTATION:

Union Grove Circle and Bailey Road are minor collector and county-maintained roads. Coordinate with the City Auburn, Barrow County, and Gwinnett County for approval and locations of driveways.

STORMWATER REVIEW:

Stormwater facilities must comply with the current City of Auburn codes and ordinances and the latest edition of the Georgia Stormwater Management Manual.

WATER/UTILTIES:

Water records show that the properties are in City of Auburn's water service area.

Water records show that the subject property is in the vicinity of a 6" water main located along Union Grove Circle. Demands imposed by the proposed development may require upsizing or extensions of existing water mains to meet City of Auburn standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the developer. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

BARROW COUNTY FIRE:

No comments received at this time.

STANDARDS GOVERNING THE EXERCISE OF ZONING:

SUITABILITY OF USE

The proposed rezoning may be suitable due to the residential character of the area.

ADVERSE IMPACTS

There are no adverse impacts anticipated on adjacent properties.

IMPACT ON PUBLIC FACILITIES

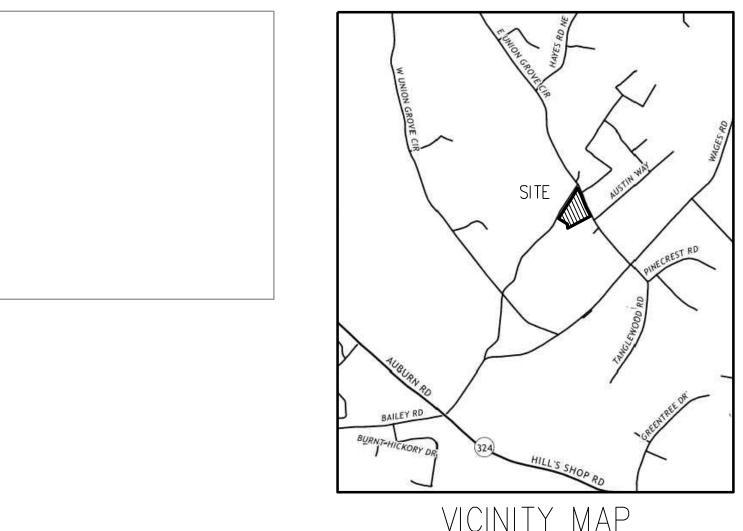
No significant increase in traffic, utilities usage, stormwater runoff and the number of schoolaged children are anticipated from this request.

CONFORMITY WITH POLICIES

The development may be compatible with the Comprehensive Plan in providing a diversity of housing types.

CONDITIONS AFFECTING ZONING

Development may be appropriate with staff recommended conditions.



SCALE: NTS

Level-III Soils Survey; Landtec Southeast Inc. SITE: Lot 4 E.UnionGroveChRd. FOR: LHA Homes hard rock defined as inpenetrable with multiple hand auger attempts A: Soils should function adequately for conventional disposal given proper design, installation and maintenance: Soils have water table at/near the surface and should be avoided for consideration. Some areas could be considered "Jundictional Wetlands". Hydric soils P/N. Soils have seasonal indicators of saturation or bedrock within 50° 60° of the surface. A shallow installation at above rates and depths should allow adequate separation/remediation to accommodate conventional installations. If trench depths assert the should allow adequate seperation/remediation to accommodate conventional installations. If trench depths cannot be met or maintained, class'!" effluent parameters should be met to allow for 12" vertical seperation restrictions off impeding horizons C1 Soils are shallow (w/in 30":36") to indicators of seasonal saturation and/or bedrock. Conventional systems are at increased risk of failure and should be avoided. Discuss alternative systems and/or class"!" effluent standards with your local Gwinnett County Env. Health Authority, Aerobic Treament Units-(ATU), Geotextile Sand Filter-(GSF), and Advanced Enviro-Septic-(AES) class**** may be considered to achieve required 12" seperation standards off impeding horizons. Options include but are not limited to drip emitter. irrigation and/or Class*!"effluent pretreatment standards and/or low profile media products at 100-125% length requirements. Add studies with advanced CCHP's should be considered to achieve actual tested permeabilities for class"!" designs Additional notes-{Landtec Southeast Inc.} All borings, structures, easiments located using WAAS (1m un-obscured accuracy) GPS data. Boundary/topo obtained in CO-OP with Gwinnett County GIS. No statement of accuracy provided - Soil delineations are generally based on most representative series and should not be considered exact but rather as transitions between differing unit series. Inclusions of dissimilar soils may exist within these units but are so minutely intermingled that separation at this intensity is difficult to achieve. Care should be taken at installation of trenches so as not to smear and compact bottoms and sidewalls which can significantly reduce permeability due to structural damage. Trenches should be installed. under dry conditions and should be picked and toothed where applicable Grade alterations may significantly effect soil utilizations and should be avoided; especially in drainfield areas. If significant alteration occurs additional testing may be required in certain areas

SURVEY REFERENCES

GWINNETT COUNTY DEED BOOK 57382 PAGE 656 . GWINNETT COUNTY PLAT BOOK 146 PAGE 176

3. BARROW COUNTY DEED BOOK 2324 PG 145 4. BARROW COUNTY PLAT BOOK 64 PG 699

GENERAL NOTES

1. IPS (IRON PIN SET) IS 1/2" RE-BAR; NS (NAIL SET) IS MAGNAIL. 2. PROPERTY CONTAINS 4.04 ACRES

Landtec makes estimates of percolations rates based on assumed use of conventional gravel/pipe drainfield sys Many alternative products are available on the market including chambered, multi-pipe, and synthetic media systems. However, due to conflicting research results. Landlec S.E. Inc. cannot warrant performance of non-gravel systems. particularly those that recommend length and bottom reduction in soils with high percentage clay contents

3. THIS PROPERTY IS SHOWN ON GWINNETT COUNTY TAX MAPS AS BEING IN G.M.D. 1587 AND BARROW COUNTY G.M.D. 1740.

4. SAID DESCRIBED PROPERTY DOES NOT LIE WITHIN A FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP NO. 13135C0049G. WITH A DATE OF IDENTIFICATION OF MARCH 4TH 2013, FOR COMMUNITY NUMBER 13135C, IN GWINNETT COUNTY, STATE OF GEORGIA, WHICH

IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED. 5. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

6. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. 7. THE LOCATIONS OF UNDERGROUND UTILITIES ARE TAKEN FROM VISIBLE EVIDENCE, CONSTRUCTION PLANS AND/OR PREVIOUS SURVEYS AND SHOULD BE CONSIDERED APPROXIMATE.

8. OTHER UNDERGROUND UTILITIES MAY BE LOCATED ON THIS PROPERTY. PIPE SIZES ARE TAKEN FROM CONSTRUCTION PLANS AND/OR

PREVIOUS SURVEYS WHERE NOT VERIFIABLE. 9. PROPERTY IS IDENTIFIED AS GWINNETT COUNTY TAX PARCEL: 2004 060 AND BARROW COUNTY TAX PARCEL: XX007 001 10. AERIAL IMAGERY SOURCE MICROSOFT/ TOM TOM ONLINE IMAGING.

THE INITIAL CONTROL POINTS FOR THIS SURVEY WERE LOCATED UTILIZING GPS. THE EQUIPMENT USED WAS A CHAMPION TKO GNSS RECEIVER WITH CARLSON SURVCE DATA COLLECTION SOFTWARE. ALL COORDINATES ARE BASED ON NAD83(2011) AND GEOID12B. NETWORK RTK CORRECTIONS WERE RECEIVED VIA A CELLULAR MODEM. THE TYPE OF SURVEY WAS NETWORK RTK UTILIZING THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EGPS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY, AS CALCULATED ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE PART 3: NATIONAL STANDARD FOR SPATIAL DATA ACCURACY, IS .04 FT. HORIZONTAL AND .07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

LEVEL 3 SOIL SURVEY

THE LEVEL 3 SOIL SURVEY FOR THIS PROPERTY WAS PREPARED ON JUNE 11, 2020 BY CRAIG CANADAY WITH LANDTEC S.E. METRO INC

SURVEYOR'S CERTIFICATION FINAL PLAT

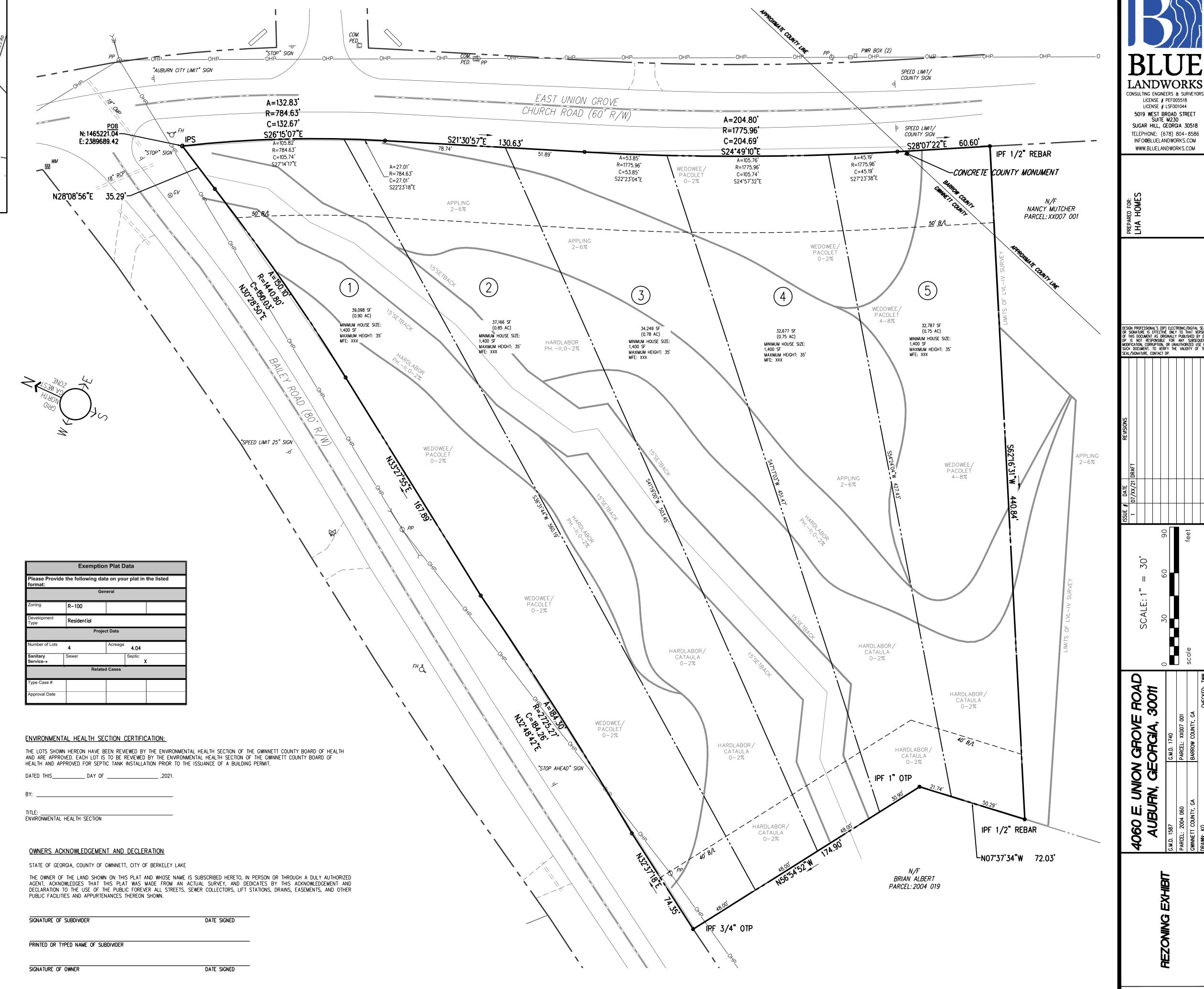
IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN THEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST, AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF 1 FOOT IN 26,060 FEET AND AN ANGULAR ERROR OF 13 PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1 FOOT IN 138,859 FEET, AND CONTAINS A TOTAL OF 4.04 ACRES. THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS HEREIN WAS TRIMBLE S6 ROBOTIC TOTAL STATION ELECTRONIC INSTRUMENT.

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS

PRINTED OR TYPED NAME OF OWNER

DATE OF LAST FIELD WORK: 06/01/2021 DATE PLAT WAS SEALED: MM/DD/YYYY

SET FORTH IN O.C.G.A. SECTION 15-6-67.



CONSULTING ENGINEERS & SURVEYORS

LICENSE # PEF005518

LICENSE # LSF001044

5019 WEST BROAD STREET SUITE M230

SUGAR HILL, GEORGIA 30518

TELEPHONE: (678) 804-8586

INFO@BLUELANDWORKS.COM WWW.BLUELANDWORKS.COM

PROJECT# 2021.031

SHEET 1 OF 1

NAME: THOMAS W. WOODSMALL REGISTRATION/LICENSE NUMBER: 2767 (GEORGIA)

DATE OF EXPIRATION: DECEMBER 31, 2022